



**DEVELOPMENT PERMIT NO. DP000847**

**BRITISH COLUMBIA HYDRO & POWER AUTHORITY**  
Name of Owner(s) of Land (Permittee)

**400 MADSEN ROAD**  
**405 MADSEN ROAD**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 1, SECTION 14, RANGE 8, MOUNTAIN DISTRICT, PLAN 49144**  
**PID No. 014-923-262**

**LOT 2, SECTION 14, RANGE 8, MOUNTAIN DISTRICT, PLAN VIP53944**  
**PID No. 017-717-132**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

<b>Schedule A</b>	<b>Location Plan</b>
<b>Schedule B</b>	<b>Site Plan</b>
<b>Schedule C</b>	<b>Main Building Elevations</b>
<b>Schedule D</b>	<b>Main Building Finishes</b>
<b>Schedule E</b>	<b>Building A, Elevations</b>
<b>Schedule F</b>	<b>Temporary Building A, Elevations</b>
<b>Schedule G</b>	<b>Building B, Elevations</b>
<b>Schedule H</b>	<b>Building C, Elevations</b>
<b>Schedule I</b>	<b>Temporary Building Elevations</b>
<b>Schedule J</b>	<b>Landscape Plan</b>
<b>Schedule K</b>	<b>Landscape Plan/Parking Layout &amp; Main Entrance</b>
<b>Schedule L</b>	<b>Landscape Materials &amp; Plant Palette</b>
<b>Schedule M</b>	<b>405 Madsen Road, Drainage Management Plan</b>
<b>Schedule N</b>	<b>400 Madsen Road, Drainage Management Plan</b>

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
- 4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
- 5. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

*Section 6.23 – Nanaimo Parkway Setback*

Where a property abuts the Nanaimo Parkway, a 20m front yard setback is required. 405 Madsen Road has a 10m front yard setback abutting the Nanaimo Parkway, a variance of 10m.

REVIEWED AND APPROVED ON

2013-DEC-11

Date

  
\_\_\_\_\_  
Acting General Manager

**Community Safety and Development**

Pursuant to Section 154 (1)(b) of the Community Charter

GN/lb  
Prospero attachment: DP000847

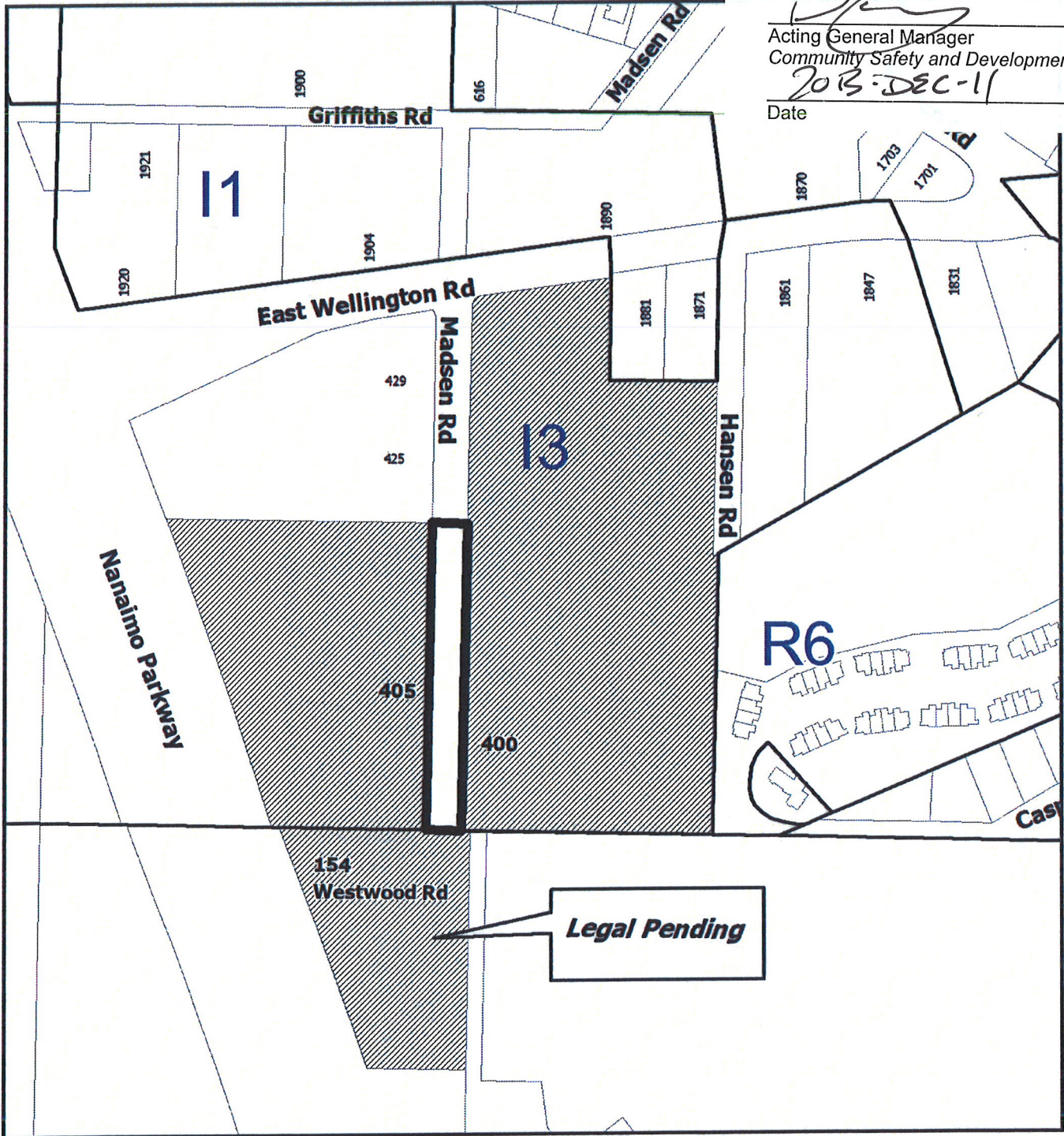


**SCHEDULE A**

This is Schedule A referred to in the Development Permit.

*[Signature]*  
Acting General Manager  
Community Safety and Development

2013-DEC-11  
Date





DEVELOPMENT PERMIT NO. DP000847

**LOCATION PLAN**

Civic: 400 & 405 Madsen Road  
and a portion of 154 Westwood Road  
Lot 1, Section 14, Range 8,  
Mountain District, Plan 49144



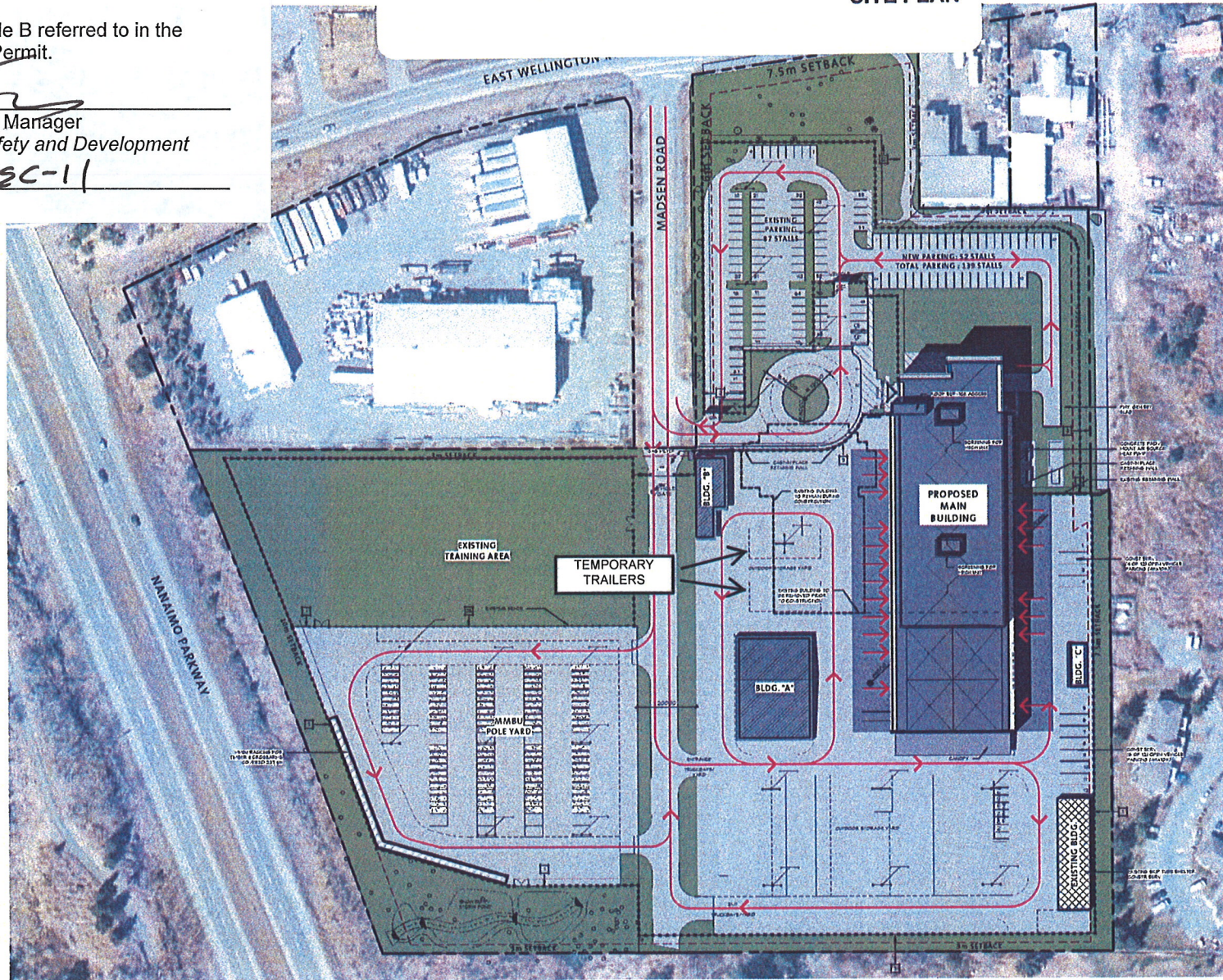
-  **Subject Properties**
-  **Portion of Road to be Closed**



This is Schedule B referred to in the Development Permit.

*[Signature]*  
Acting General Manager  
Community Safety and Development

2013-DEC-11  
Date

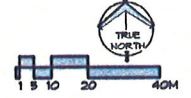


KEYNOTE LEGEND - SITE PLAN:

- 11 CHAIN LINK FENCING - TYPE 1
- 12 CHAIN LINK FENCING - TYPE 2
- 13 PAINTED TRAFFIC LINE
- 14 AUTOMATIC - BI-DIRECTIONAL SLIDING GATE
- 15 AUTOMATIC VEHICLE GATE CARD READER BOARD
- 16 MANUAL GATE
- 17 MINI GATE
- 18 PILE PAVILION
- 19 CONCRETE BOTTLEK
- 20 PEDESTRIAN ACCESS
- 21 UNOCCUPIED AREA
- 22 GAST PLACEMENT COEFFICIENT CURB
- 23 BOLLARD
- 24 BLOCK HEATER BOLLARD
- 25 GARBAGE
- 26 RACK/POST OPERATOR
- 27 TRASH CONTAINER
- 28 UNDERGROUND SIGN/STAMP
- 29 UNDERGROUND POWER LINES
- 30 TEMPORARY CONSTRUCTION FENCING
- 31 EXISTING BUILDING TO REMAIN
- 32 EXISTING TRAILERS TO REMAIN
- 33 EXISTING SITE BUILDING TO BE REMOVED
- 34 EXISTING SITE STORAGE TO BE REMOVED
- 35 EXISTING FENCE TO BE REMOVED
- 36 EXISTING CHAIN LINK FENCE TO REMAIN
- 37 EXISTING FENCE TO BE REMOVED
- 38 EXISTING FENCING TO BE REMOVED
- 39 EXISTING FENCING TO BE REMOVED
- 40 EXISTING FENCING TO BE REMOVED
- 41 EXISTING FENCING TO BE REMOVED
- 42 EXISTING FENCING TO BE REMOVED
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- 100 EXISTING FENCING TO BE REMOVED

SITE PLAN LEGEND

- 1 LANDSCAPING SETBACKS
- 2 CONCRETE PAVEMENT
- 3 ASPHALT PAVEMENT
- 4 GRAVEL PAVEMENT
- 5 WOOD CHIPS
- 6 COVERED YARD STRUCTURE
- 7 EXPOSED YARD STRUCTURE
- 8 CONCRETE SIDE WALK FINISH
- 9 REQUIRED ROAD DISCRETION
- 10 8% POLE SEAL





This is Schedule C referred to in the Development Permit.

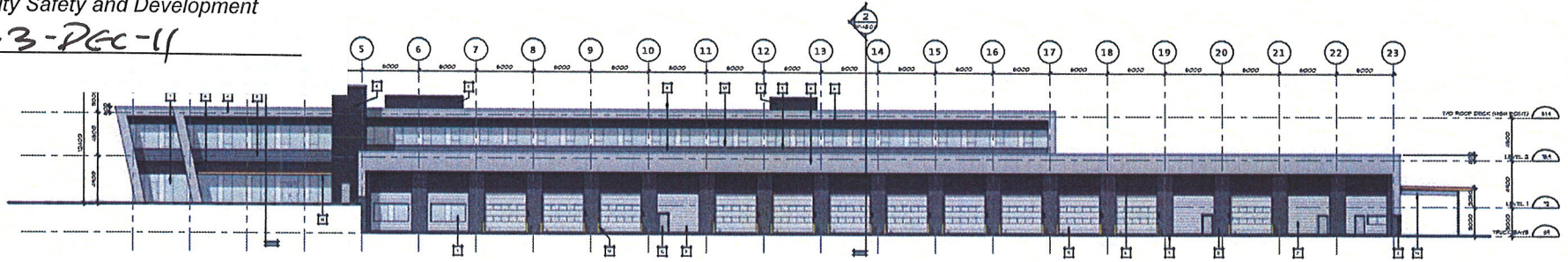
Development Permit No. DP000847  
400 / 405 Madsen Road

Schedule C

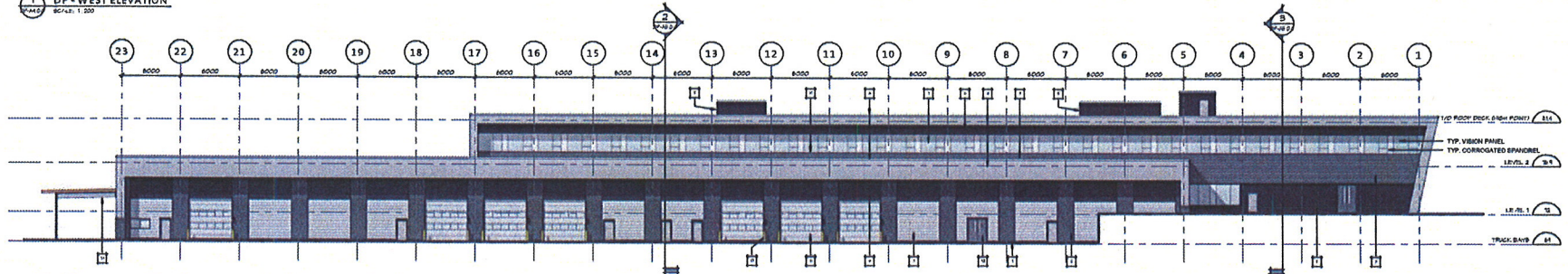
MAIN BUILDING ELEVATIONS

Acting General Manager  
Community Safety and Development

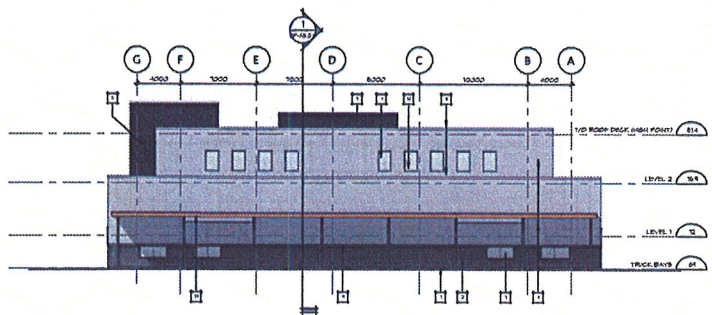
Date 2013-DEC-11



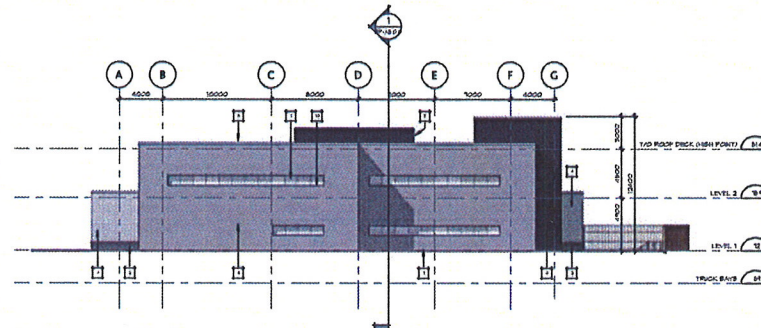
1 DP - WEST ELEVATION  
SCALE: 1/200



2 DP - EAST ELEVATION  
SCALE: 1/200



3 DP - SOUTH ELEVATION  
SCALE: 1/200



4 DP - NORTH ELEVATION  
SCALE: 1/200

**KEYNOTE LEGEND:**

[Symbol] OVERHEAD REGIONAL DOOR	[Symbol] FINISHED PROFILED METAL CLADDING	[Symbol] CONCRETE FACED ABUTMENT PANEL
[Symbol] PRESSED STEEL DOOR & FRAME	[Symbol] ALUMINUM CURTAIN WALL OR CORRUGATED SPANREL PANELS	[Symbol] GRIND TACK FABRIC / VEEBEE
[Symbol] DOLLARD	[Symbol] PRE-FINISHED EAP FLASHING	[Symbol] FLAT METAL PANEL
[Symbol] CHIMNEY	[Symbol] TRUCK-WALL FLASHING	[Symbol] COMPOSITE ALUMINUM PANEL
	[Symbol] BALL FLASHING	[Symbol] PRESSED METAL SCREEDING



BC Hydro NANAIMO DISTRICT OFFICE  
400 MADSEN WAY, NANAIMO, BRITISH COLUMBIA

Project Number  
10 11 249  
Date  
08/17/15

Project Name  
BUILDING ELEVATIONS  
As Indicated

Project Number  
DP-A4.0.0




This is Schedule D referred to in the Development Permit.

Development Permit No. DP000847  
400 / 405 Madsen Road

Schedule D

MAIN BUILDING FINISHES

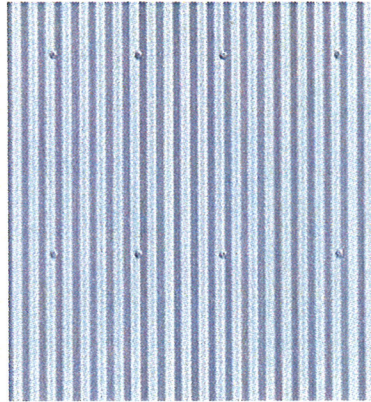
  
Acting General Manager  
Community Safety and Development

Date

2013-DEC-11



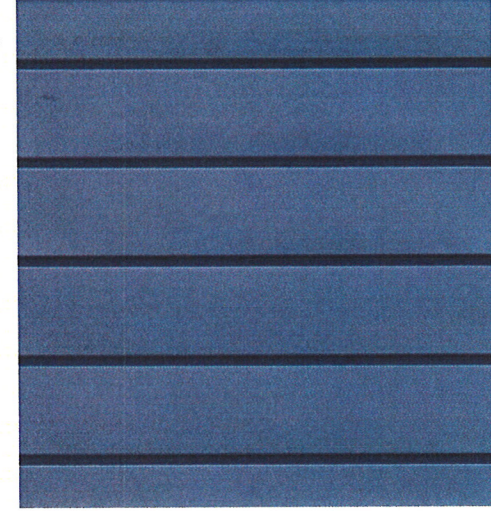
COMPOSITE ALUMINUM PANELS



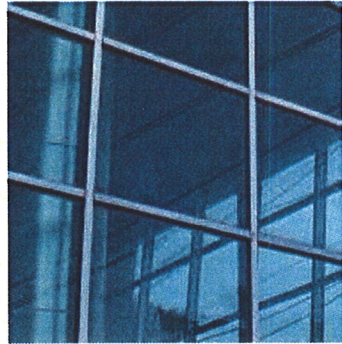
CORROGATED CURTAINWALL SPANDREL PANELS



WOOD SOFFITS



PRE-FINISHED FLAT METAL PANELS



HIGH PERFORMANCE CURTAIN WALL



GROUND FACE CONCRETE MASONRY UNITS



PRE-FINISHED PROFILED METAL CLADDING

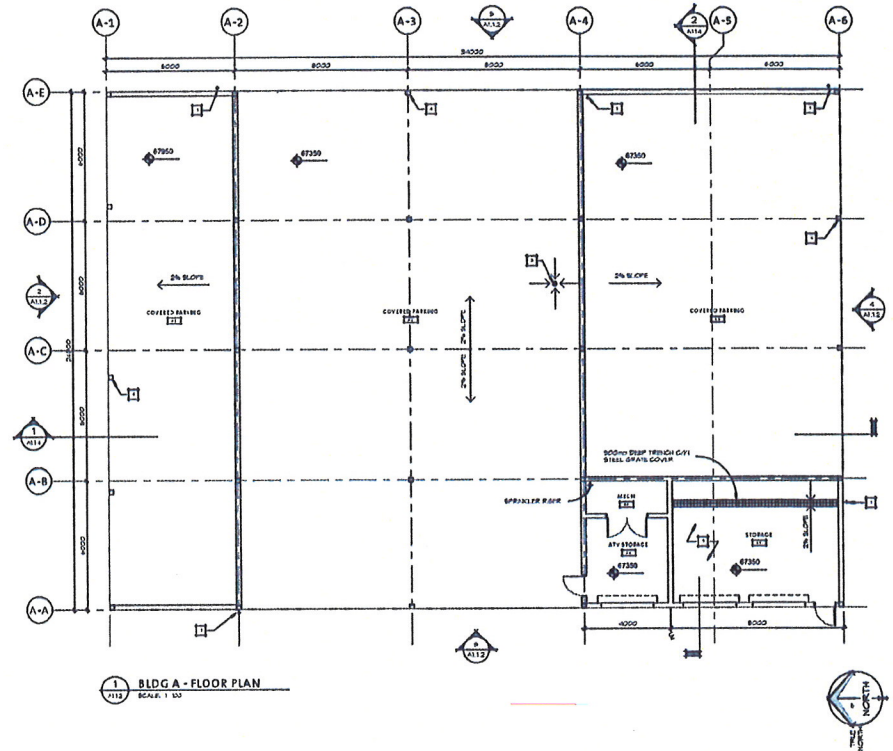
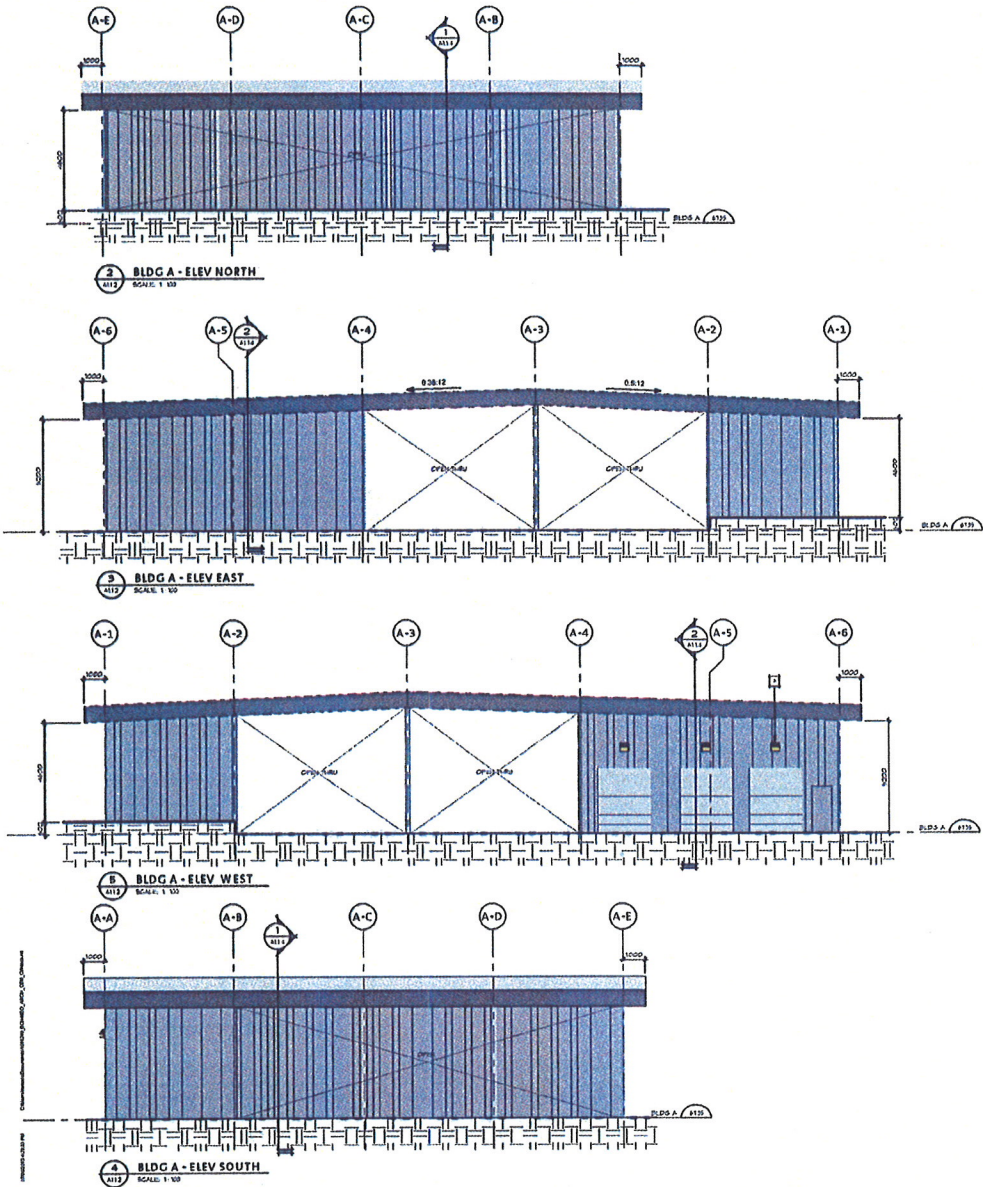
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BUILDING A, ELEVATIONS

This is Schedule E referred to in the Development Permit.

*[Signature]*  
Acting General Manager  
Community Safety and Development  
2013-DEC-11  
Date



1 BLDG A - FLOOR PLAN  
SCALE: 1/10

KEYNOTE LEGEND:

- [Symbol] E-TRASH BIN - SEE HIGH EYEB
- [Symbol] SINK - SEE HIGH EYEB
- [Symbol] EPOXY FLOOR FINISH
- [Symbol] LIGHT FIXTURE - SEE BLDG EYEB
- [Symbol] HOSE BO - SEE HIGH EYEB
- [Symbol] COMPRESSED AIR - SEE HIGH EYEB
- [Symbol] FLOOR DRAIN - SEE HIGH EYEB
- [Symbol] COLUMN - SEE PRE-ENG EYEB



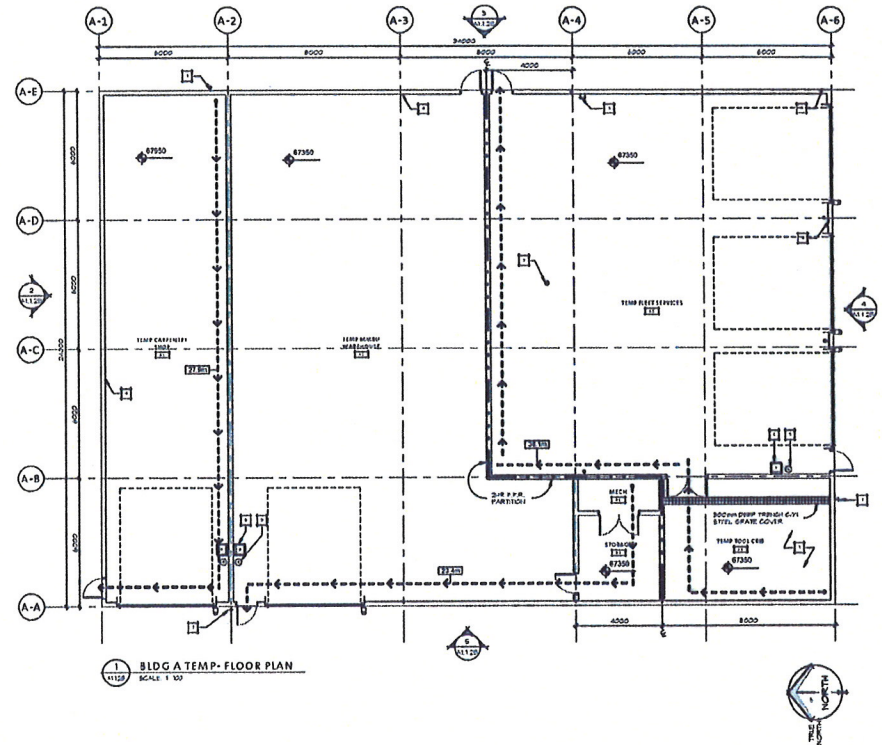
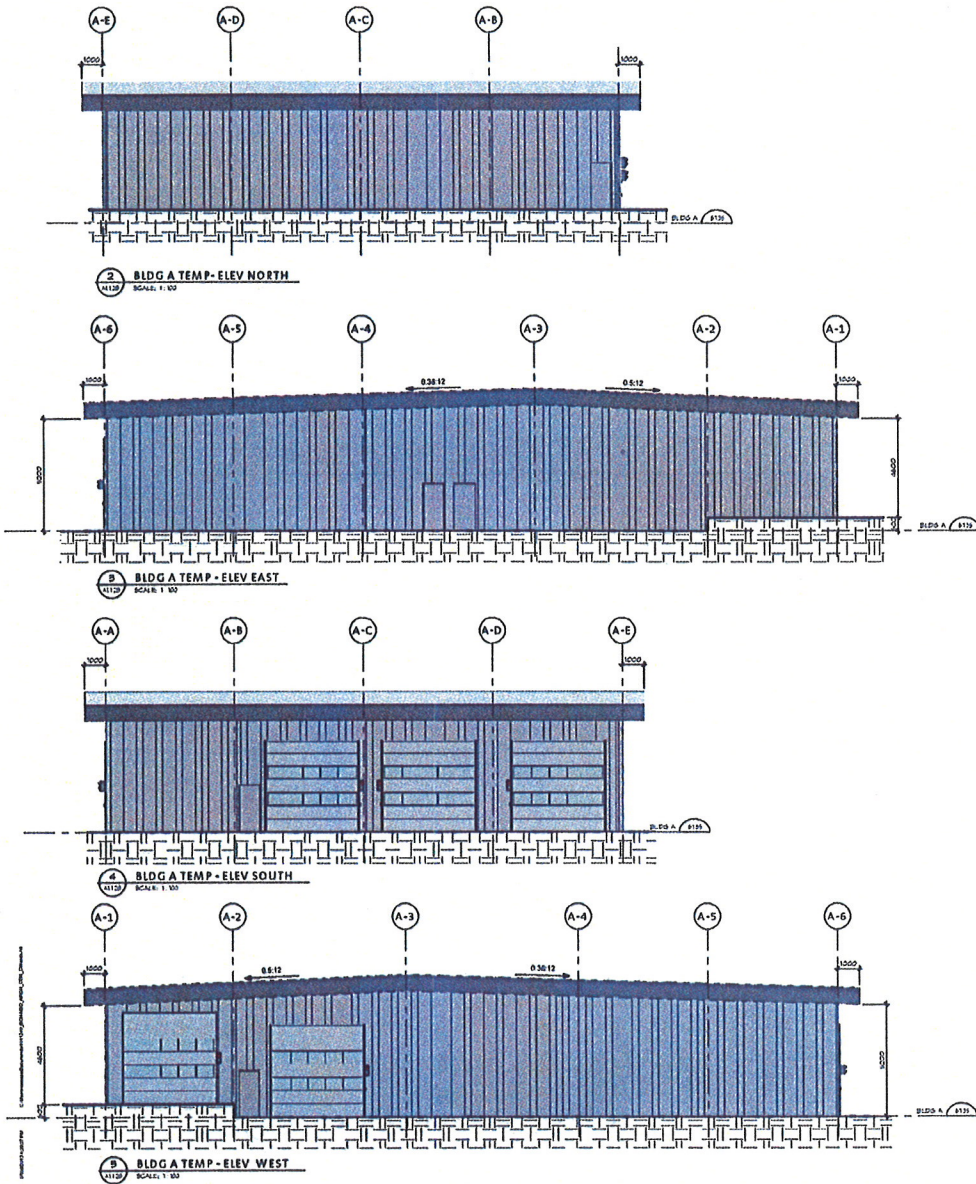
TEMPORARY BUILDING A,  
ELEVATIONS

This is Schedule F referred to in the  
Development Permit.

Acting General Manager  
Community Safety and Development

2013-DEC-11

Date

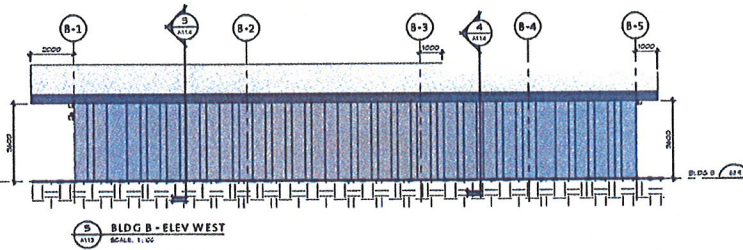
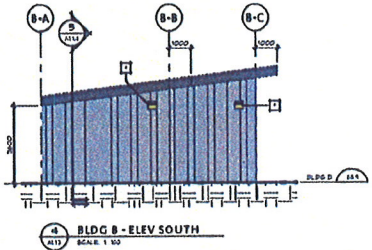
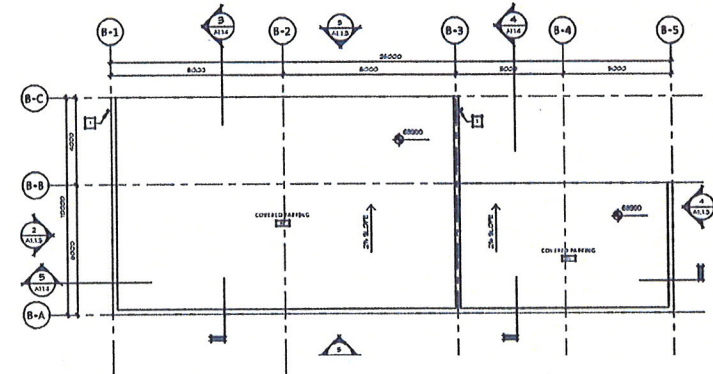
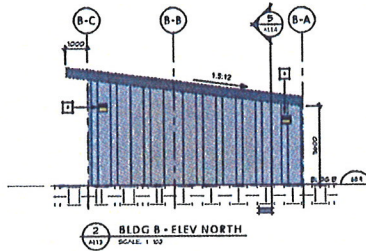
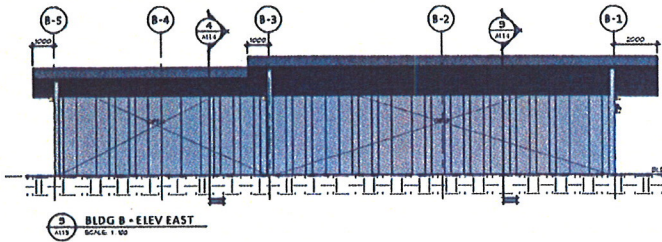


KEYNOTE LEGEND:

EXTENDED STITCH - 872 HIGH DIVS	ROSE BD - 872 HIGH DIVS
BRK - 872 HIGH DIVS	COMPRESSED AIR - 872 HIGH DIVS
SPOKE FLOOR FINISH	FLOOR DEW/1 - 872 HIGH DIVS
LIGHT FIXTURE - 872 ELEV DIVS	COLU 41 - 872 FRR-410 DIVS



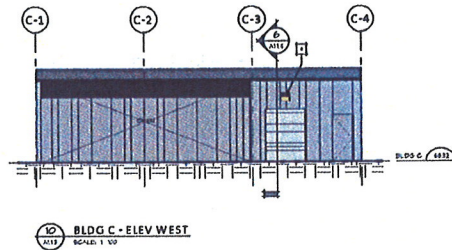
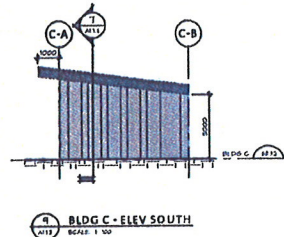
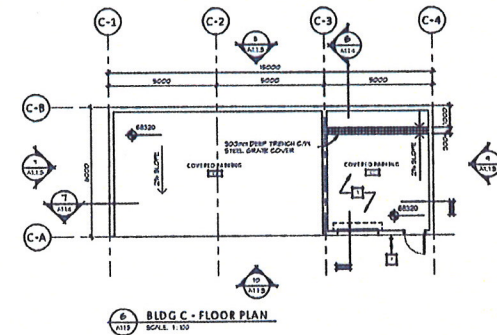
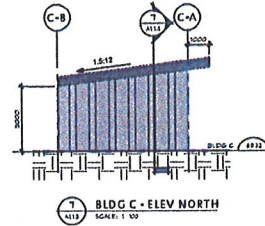
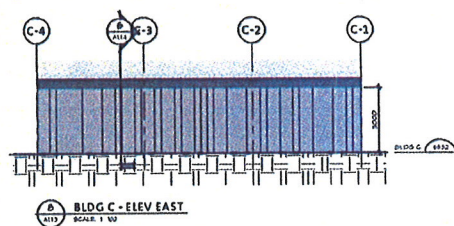
BUILDING B, ELEVATIONS



This is Schedule G referred to in the Development Permit.

Acting General Manager  
Community Safety and Development

2013-DEC-11  
Date



KEYNOTE LEGEND:

- |  |                                      |
|--|--------------------------------------|
| [E] ENTRANCE STATION - SEE HIGH ELEV'S | [H] HOIST BR - SEE HIGH ELEV'S       |
| [B] BAL - SEE HIGH ELEV'S              | [C] COMPRESSED AIR - SEE HIGH ELEV'S |
| [F] FLOOR FLOOR FINISH                 | [FL] FLOOR BRASH - SEE HIGH ELEV'S   |
| [L] LIGHT FIXTURE - SEE HIGH ELEV'S    | [C] COLUMN - SEE HIGH ELEV'S         |



This is Schedule H referred to in the Development Permit.

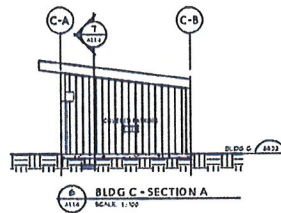
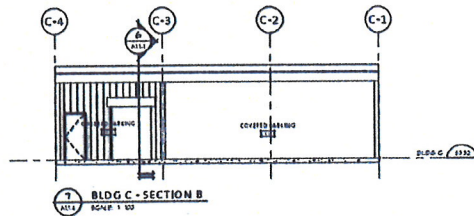
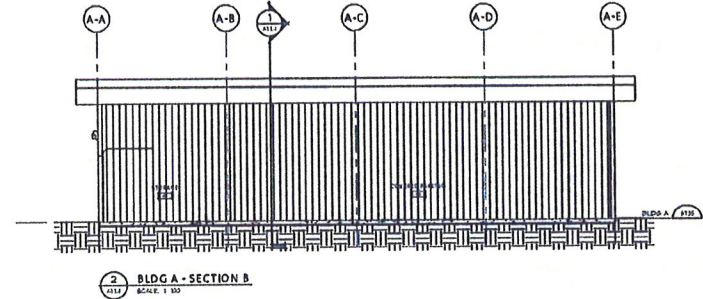
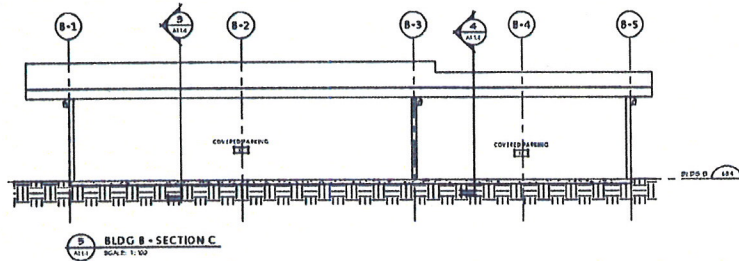
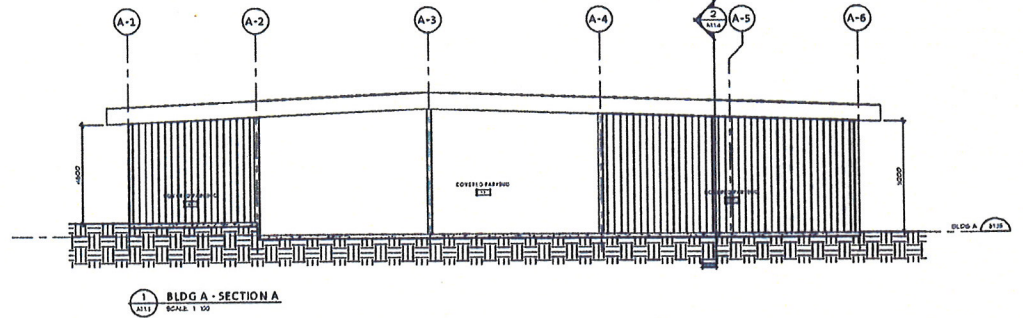
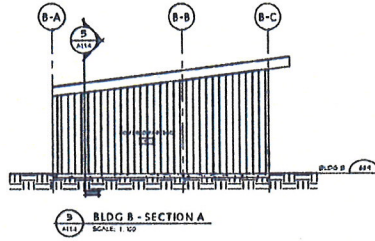
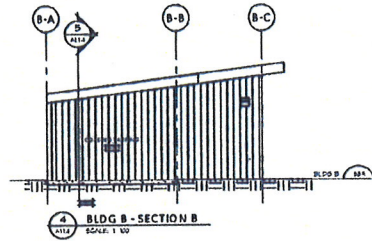
Development Permit No. DP000847  
400 / 405 Madsen Road

Schedule H

**BUILDING C, ELEVATIONS**

Acting General Manager  
Community Safety and Development

2013-DEC-11  
Date



**KEYNOTE LEGEND:**

- |                                   |                                 |
|-----------------------------------|---------------------------------|
| ELEVATOR STATION - SEE HIGH DVG'S | WOOD DD - SEE HIGH DVG'S        |
| BRAC - SEE HIGH DVG'S             | COMPRESSED AIR - SEE HIGH DVG'S |
| EPOXY FLOOR FINISH                | FLOOR DRAIN - SEE HIGH DVG'S    |
| LIGHT FIXTURE - SEE ELEV DVG'S    | COLUMN - SEE PER-DWG DVG'S      |



**BC Hydro** NANAIMO DISTRICT OFFICE

400 MADSEN WAY, NANAIMO, BRITISH COLUMBIA

Project No.  
1011249  
Date  
08/07/13

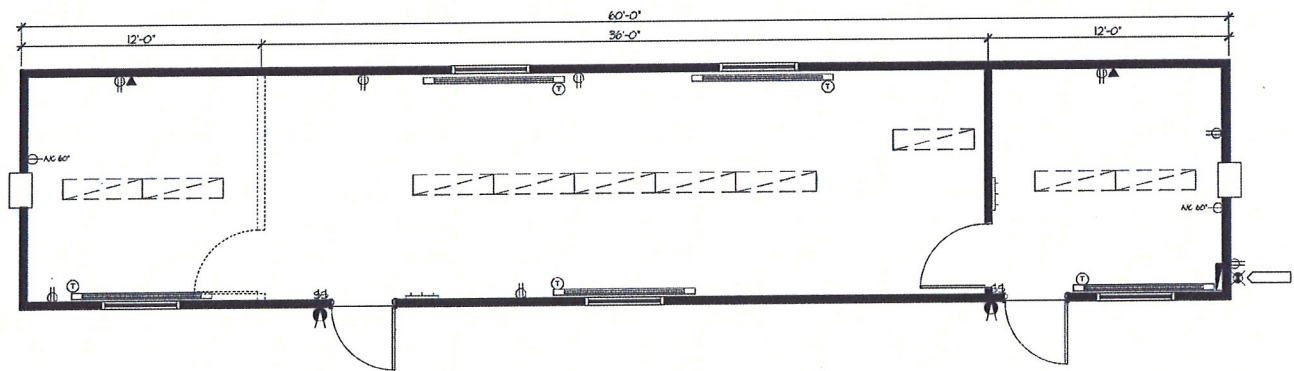
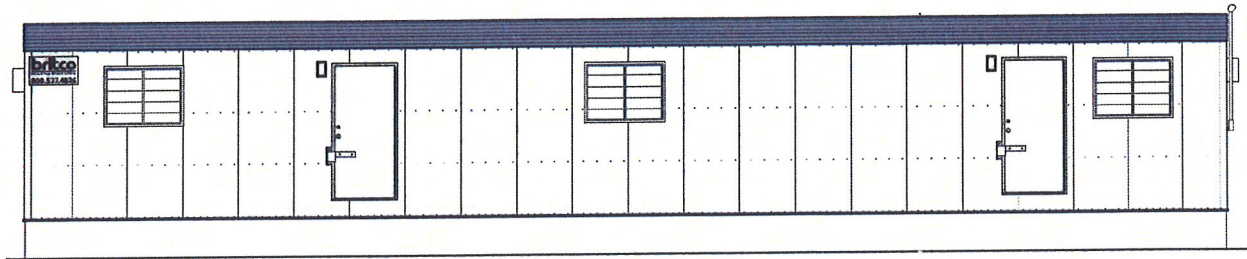
Site - YARD BLDG SECTIONS  
As Indicated

**A1.1.4**



TEMPORARY BUILDING ELEVATIONS

**12 x 60**  
 Field Office



**General Specifications**

<b>Exterior Siding:</b>	Metal siding & metal fascia	<b>Ceiling:</b>	Vinyl-clad gyproc (white)
<b>Interior Walls:</b>	Wood paneling (New York Birch) or Vinyl-clad paneling (Norwich Pearl)	<b>Roof:</b>	EPDM (rubber) roofing
<b>Windows:</b>	4'-0" x 3'-0" XO horizontal slider with insect screen & security bars	<b>Heating/Cooling:</b>	Electric baseboard heaters (240V) and air conditioning (120V)
<b>Exterior Doors:</b>	Solid-core door with passage set, deadbolt, check chain and steel lockbox	<b>Lighting:</b>	Fluorescent lights, 2-bulb, surface-mounted; Exterior lights
<b>Interior Doors:</b>	Hollow-core door, prefinished wood with passage set (if applicable)	<b>Electrical:</b>	120/240 volt single phase, mast & weatherhead, electrical panel, duplex wall receptacles and tel/data conduits (jacks & wiring not included)
<b>Floor:</b>	Vinyl-composite tile (commercial grade)		

This is Schedule I referred to in the Development Permit.

*[Signature]*  
 Acting General Manager  
 Community Safety and Development



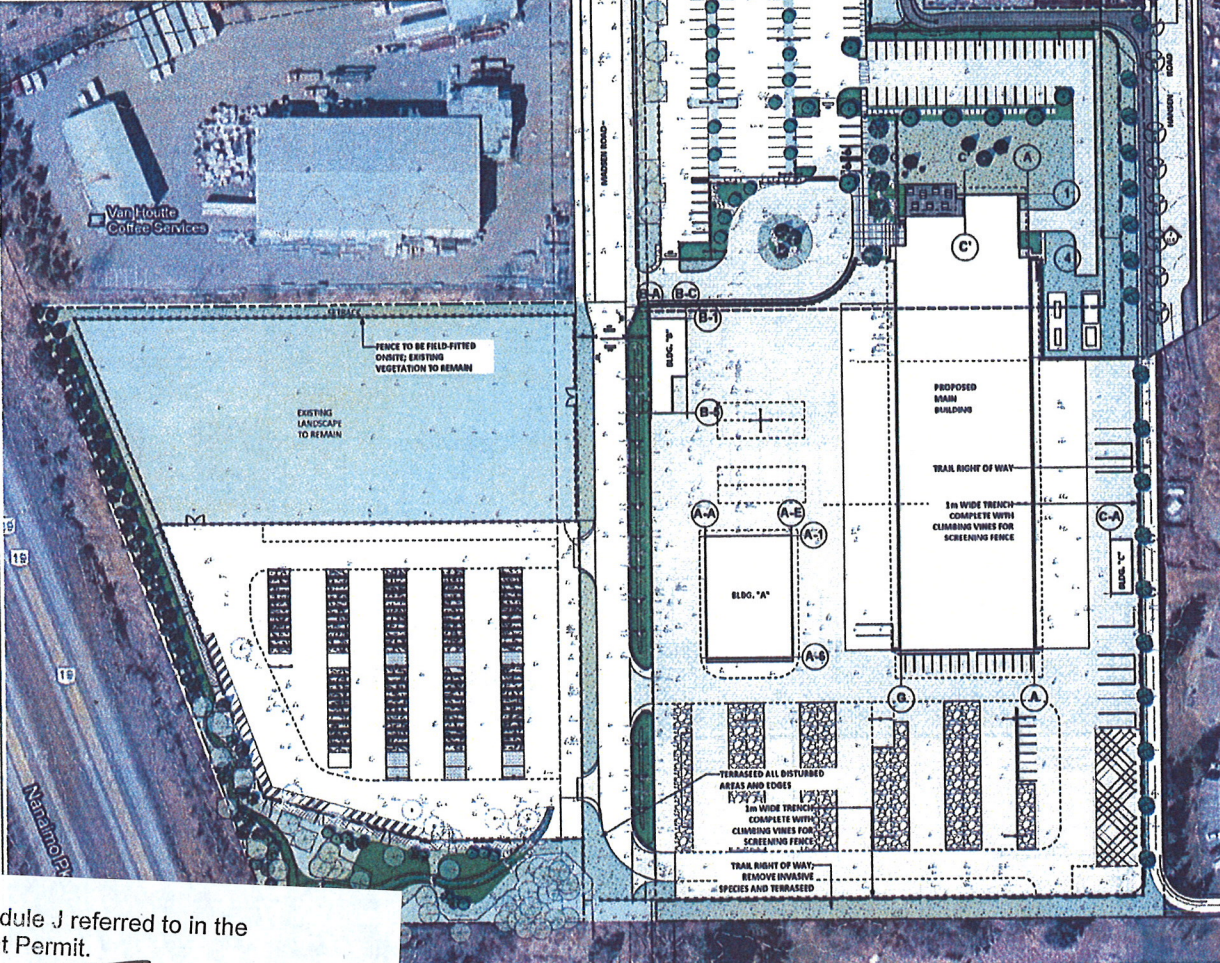
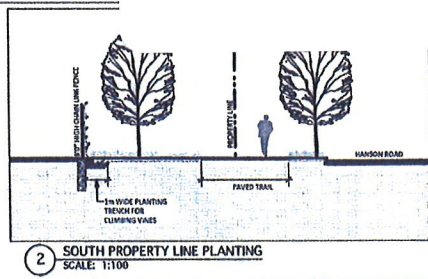
LANDSCAPE PLAN

LAYOUT AND MATERIALS LEGEND

KEY	MATERIAL
	EXISTING LANDSCAPE TO REMAIN MINIMAL DISTURBANCE DURING CONSTRUCTION; RE-INSTATE ALL DISTURBED AREAS AND EDGES. PARKING OF CONSTRUCTION VEHICLES NOT PERMITTED.
	EXISTING TREES TO BE REMOVED INSTALL TREE PROTECTION FENCING OUTSIDE PERIMETER OF DIBLINE; MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.
	PROPOSED TREE REFER TO PLANT LIST FOR SPECIES TYPE.
	PAVING TYPE A: CIP CONCRETE WITH SAWCUT SCORELINES SA. CIP CONCRETE; SAWCUT SCORELINE PATTERN AS SHOWN; ARCHITECTURAL FINISH; 100mm DEPTH C/W MESH; SB. COMPLETE WITH INTEGRAL COLOURED CONCRETE STRIPS AS SPECIFIED.
	PAVING TYPE B: UNIT PAVING PEDESTRIAN CONCRETE UNIT PAVING; DOUBLE HOLLAND PEDESTRIAN UNIT PAVING; BY APPOINTAL MATERIALS (Pn 406 408 9009; STICKED BORDO; (200) CHARCOAL; (200) CASCADE BLEND; 454 x 454 x 45mm; OR APPROVED ALTERNATE
	PAVING TYPE C: CRUSHED GRANITE PATHWAY CRUSHED GRANITE SCRAMBLES ON GRANULAR BASE AS SPECIFIED
	FEATURE PLANTING BED REFER TO PLANTING LIST FOR SPECIES.
	RAIN GARDENS SLOPED RAIN GARDEN BEDS; 450mm B/D SOIL WITH 1500mm SCARIFIED SUBBASE AS SPECIFIED; COMPLETE WITH 15" DIA FILTERSCREEN WEIRS BY DENBOW
	STORMWATER DETENTION FEATURE CLEAR AND GRUB EXISTING UNDERSTORY; PROTECT EXISTING TREES AND RETAIN GRASS WITHIN DIBLINES. INSTALL NEW SOIL AND PLANTING; REFER TO PLANT LIST.
	TERRACING REMOVE INVASIVE SPECIES IN PROPOSED TERRASEED AREAS AS SPECIFIED; SCARIFY SUBGRADE; NATURALIZED SEED MIX AS SPECIFIED.
	DECORATIVE ROCK DECORATIVE RIVER ROCK AND RE-USED SITE BOULDERS TO BE PLACED UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT ONSITE.
	ARMOURED DRAINAGE CHANNEL ROCK CHANNELS TO BE PLACED AT POINTS OF EROSION CONCENTRATION ALONG STREETS. LOCATIONS TO BE DETERMINED ON SITE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
	60" HIGH BLACK VINYL CHAIN LINK FENCING REFER TO ARCHITECTURAL
	60" HIGH GALVANIZED CHAIN LINK FENCING REFER TO ARCHITECTURAL
	MIX BASES SC183601 EIKE BACK BY MAGLIN SITE FURNISHINGS (1.800.706.5508); POWDERCOAT PEARL SILVER, SURFACE MOUNTED.
	BENCH SC18600PC BENCH BY MAGLIN SITE FURNISHINGS (1.800.706.5508); HDPC CHARCOAL; POWDERCOAT PEARL SILVER; SURFACE MOUNTED.
	TABLE AND CHAIR SETS DUTMAS TABLE AND BENCH SET BY LANDSCAPEFORMS (1.800.511.2549); FREESTANING; FLAMME ORANGE COLOUR.
	PATIO PLANTER SOMLIA PLANTERS BY LANDSCAPEFORMS (1.800.511.2549); 45" x 15" x 30"; SURFACE MOUNTED.

LAYOUT AND MATERIALS NOTES

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, AND SPECIFICATIONS.
3. VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
4. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT AND CONSULTANT TEAM PRIOR TO PROCEEDING.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR IS TO PROVIDE A MINIMUM 1% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE.
6. THE CONTRACTOR IS TO PROTECT ALL EXISTING HARD SURFA AND TREES FOR DURATION OF CONSTRUCTION.
7. THE LOCATION OF ALL PROPOSED HARDSCAPE ITEMS, CONC, SITE FURNISHING ETC. ARE TO BE FLAGGED OUT ONSITE BY THE APPROVED BY THE CONSULTANT TEAM PRIOR TO INSTALLATION.



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SHARP & DIAMOND LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE SYSTEMS, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSONNEL OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

NO.	REVISIONS	DATE
1	ISSUED FOR EP SUBMISSION	13-11-08
2	ISSUED FOR PE SUBMISSION	13-09-17
3	ISSUED FOR DP	13-08-24

**BC HYDRO NANAIMO DISTRICT OFFICE**  
400 Madsen Road  
Nanaimo, British Columbia

Scale:	1:600
Drawn:	LVH
Reviewed:	RS
Project No.:	06-316

**LANDSCAPE CONCEPT PLAN**

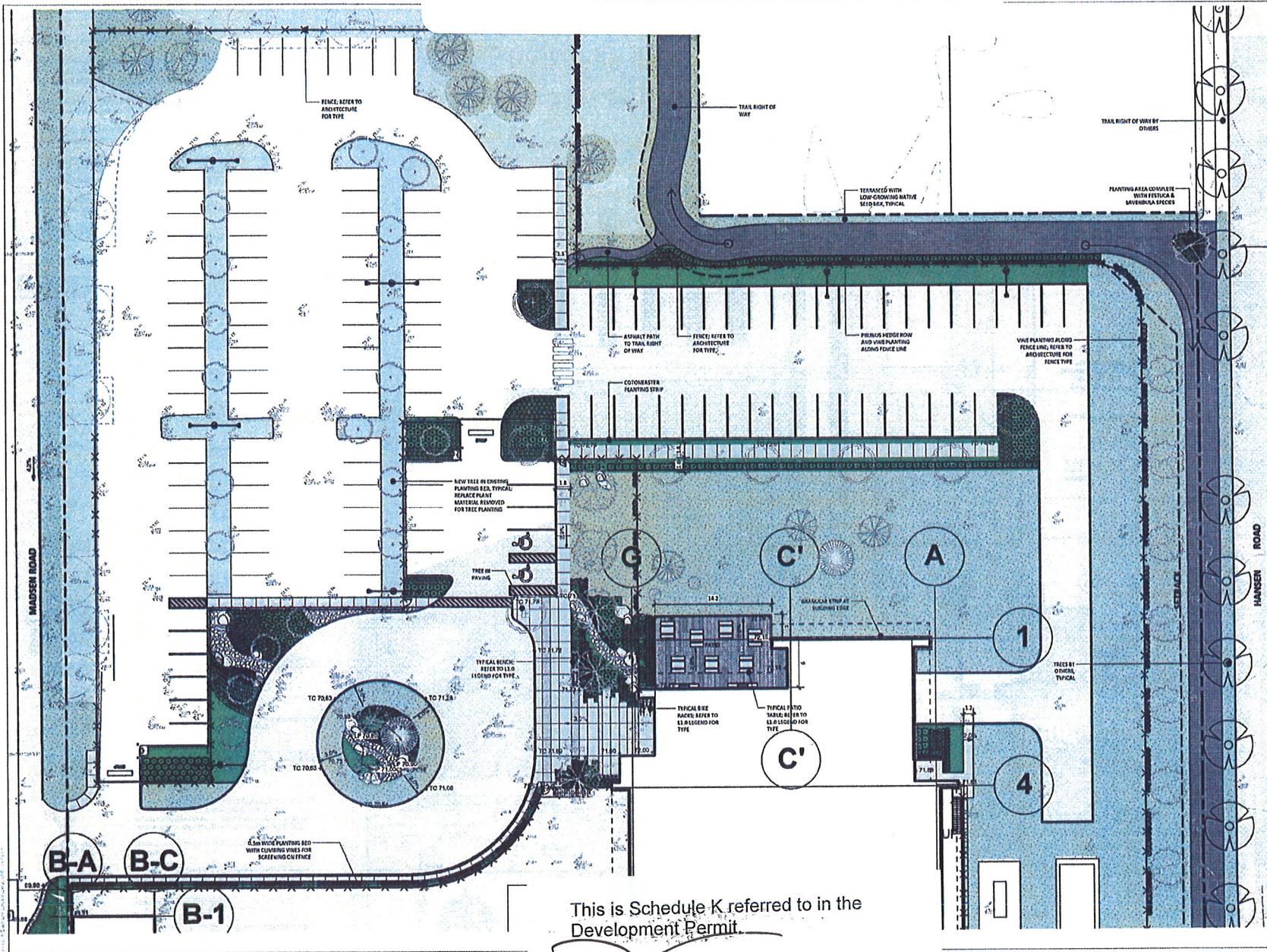
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This is Schedule J referred to in the Development Permit.

*[Signature]*  
Acting General Manager  
Community Safety and Development  
2013-DEC-11  
Date



LANDSCAPE PLAN/  
PARKING LAYOUT & MAIN ENTRANCE



**SD SHARP & DIAMOND**  
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NO.	REVISIONS	DATE
1	ISSUED FOR DP PER SUBMISSION	11-13-09
2	ISSUED FOR DP PER SUBMISSION	11-01-17
3	ISSUED FOR DP	11-09-26

**BC HYDRO NANAIMO**  
DISTRICT OFFICE  
400 Madsen Road  
Nanaimo, British Columbia  
Scale: 1:200  
Drawn: LVH  
Reviewed: RS  
Project No. 09-326

LANDSCAPE  
ENLARGEMENT PLAN

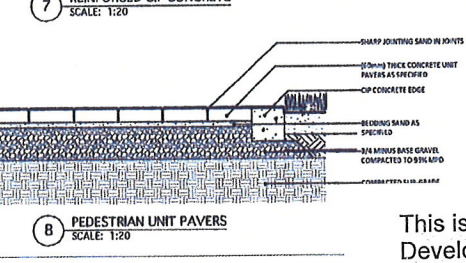
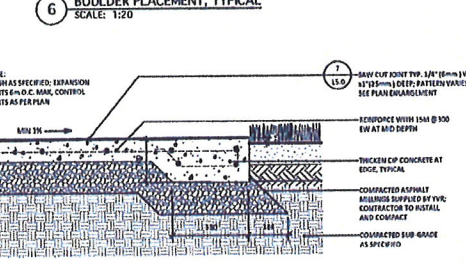
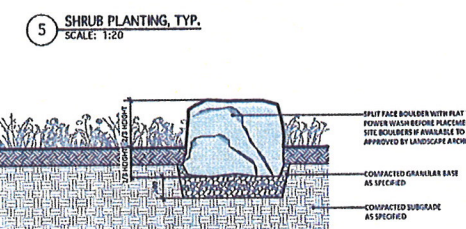
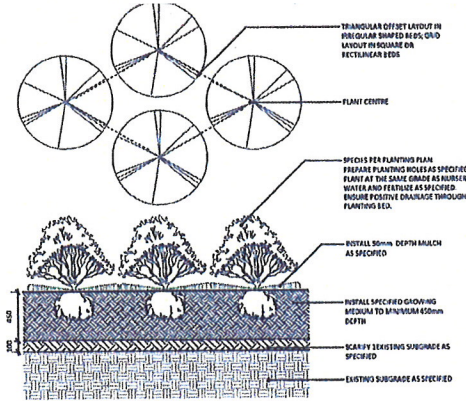
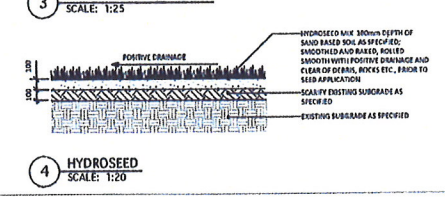
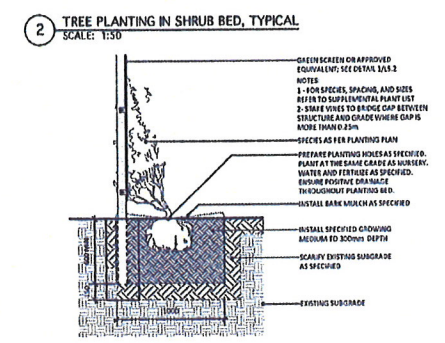
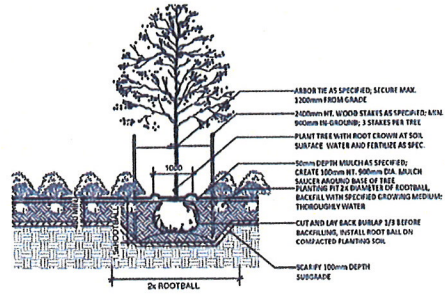
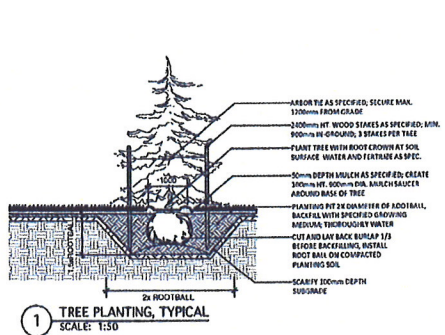
This is Schedule K referred to in the Development Permit.

*[Signature]*  
Acting General Manager  
Community Safety and Development  
2013-DEC-11  
Date



LANDSCAPE MATERIALS & PLANT PALETTE

PRELIMINARY PLANT LIST				
QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>EXISTING TREES</b>				
	Tree To Be Removed			
	Believing Tree To Remain: Install Tree Protection Fencing around drip-line perimeter			
<b>PROPOSED CONIFERUS TREES</b>				
2	<i>Picea omorika</i>	Sorbian Spruce	3m HT. B&B	As shown
	<i>Pseudotsuga mucronata</i>	Douglas Fir	3m HT. B&B	As shown
13	<i>Thuja plicata</i>	Western Red Cedar	3m HT. B&B	As shown
<b>PROPOSED DECIDUOUS TREES</b>				
5	<i>Acer x freemanianum</i> 'Autumn Blaze'	Autumn Blaze	7cm cal.	As shown
12	<i>Betula papyrifera</i>	Paper Birch	7cm cal.	As shown
17	<i>Crataegus douglasii</i>	Black Hawthorn	3m HT. B&B	As shown
4	<i>Fraxinus pennsylvanica</i> 'Stammi'	Green Ash	7cm cal.	As shown
18	<i>Fraxinus pennsylvanica</i> 'Autumn Purple'	Autumn Purple Ash	7cm cal.	As shown
19	To Match Existing	1.8m Standard	As shown	As shown
<b>SHRUBS &amp; PERENNIALS</b>				
	<i>Amygdalus nivalis</i>	Saskatoon Berry	No. 5 Pot	As shown
	<i>Festuca latifolia</i>	Mahoe Blue Fescue	No. 1 Pot	600mm o.c.
	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	No. 2 Pot	800mm o.c.
	<i>Hydrangea serrata</i>	Oakleaf Hydrangea	No. 2 Pot	600mm o.c.
	<i>Ilacostachya macra</i> 'Aureola'	Japanese Forest Grass	No. 2 Pot	600mm o.c.
	<i>Mahonia aquifolium</i>	Oregon Grape	No. 2 Pot	400mm o.c.
	<i>Polystichum muricatum</i>	Western Sword Fern	No. 2 Pot	600mm o.c.
	<i>Luzula angustifolia</i> 'Hidcote'	Hidcote Lavender	No. 1 Pot	450mm o.c.
	<i>Prunus laurocerasus</i> 'Nymphaea'	Japanese Laurel	No. 2 Pot	900mm o.c.
	<i>Stipa tenuissima</i>	Mexican Feather Grass	No. 1 Pot	450mm o.c.
	<i>Spiraea bumalda</i> 'Goldflame'	Goldflame Spirea	No. 2 Pot	600mm o.c.
	<i>Rosa meliodora</i> 'Fascination'	Rod Rose	No. 2 Pot	900mm o.c.
	<i>Rosa 'Nearly Wild'</i>	Nearly Wild Rose	No. 2 Pot	900mm o.c.
<b>GROUNDCOVERS &amp; PERENNIALS</b>				
	<i>Asplenium var. 'Superba'</i>	Pink Chinese Asplenium	4" Pot	300mm o.c.
	<i>Arctostaphylos uva-ursi</i>	Huckleberry	4" Pot	450mm o.c.
	<i>Coleostephanon</i>	Coleostephanon	No. 2 Pot	600mm o.c.
	<i>Gaultheria shallon</i>	Sagal	No. 2 Pot	600mm o.c.
	<i>Liriope muscari</i>	Lily Turf	No. 1 Pot	300mm o.c.
	<i>Hestia Borland</i> 'Aureo Marginata'	Aureo Marginata Hosta	4" Pot	450mm o.c.
<b>VINES</b>				
	<i>Akebia quinata</i>	Chocolate Vine	No. 3 Pot, 1.5m high	600mm o.c.
	<i>Clematis armandi</i>	Evergreen Clematis	No. 2 Pot, 1.5m high	600mm o.c.
	<i>Parthenocissus vitacea</i>	Virginia Creeper	No. 2 Pot, 1.5m high	600mm o.c.
<b>RAIN GARDENS &amp; STORM POND</b>				
	<i>Iris Laengleri</i>	Japanese Iris	4" Pot	300mm o.c.
	<i>Iris tenax</i>	Oregon Iris	4" Pot	300mm o.c.
	<i>Carex densa</i>	Water Sedge	4" Pot	300mm o.c.
	<i>Carex panicea</i>	Sand Dune Sedge	4" Pot	300mm o.c.
	<i>Juncus peltatus</i>	Common Rush	4" Pot	300mm o.c.
<b>SEEDED AREA</b>				
	Terra Seeding - Mix as specified			
	Terra Seeding complete with Erlichsenki as specified			
<b>PLANTING NOTES</b>				
1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARDS, LATEST EDITION.				
2. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.				
3. ALL INVASIVE SPECIES EXISTING ON SITE TO BE REMOVED PRIOR TO NEW PLANT AND SEED INSTALLATION. EXCAVATE 300mm DEEP AND REMOVE ALL ASSOCIATED BRANCHES, FOLIAGE, AND ROOTS. PROTECT ALL EXISTING TREES, INCLUDING ROOT SYSTEMS.				
4. FINAL LANDSCAPE BERM / BED LAYOUTS, AS WELL AS ACTUAL TREE AND SHRUB LOCATIONS AND SPACING, TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.				
5. ALL TREE AND SHRUB BEDS ARE TO BE MULCHED WITH 50mm OF MEDIUM FINE MULCH, LESS THAN 50mm DIAMETER.				
6. ALL TREES TO BE MANUALLY WATERED FROM TIME OF INSTALL TO START OF MAINTENANCE PERIOD.				



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1	ISSUED FOR PERMITS	11-11-20
2	ISSUED FOR PERMITS	11-09-17
3	ISSUED FOR PERMITS	11-06-26

**BC HYDRO NANAIMO DISTRICT OFFICE**  
400 Madsen Road  
Nanaimo, British Columbia

Scale:	As Shown
Drawn:	LVH
Reviewed:	RS
Project No.:	DB-326

PLANT LIST & DETAILS

This is Schedule L referred to in the Development Permit.

*[Signature]*  
Acting General Manager  
Community Safety and Development  
2013-DEC-11  
Date







This is Schedule N referred to in the Development Permit.

Development Permit No. DP000847  
400 / 405 Madsen Road

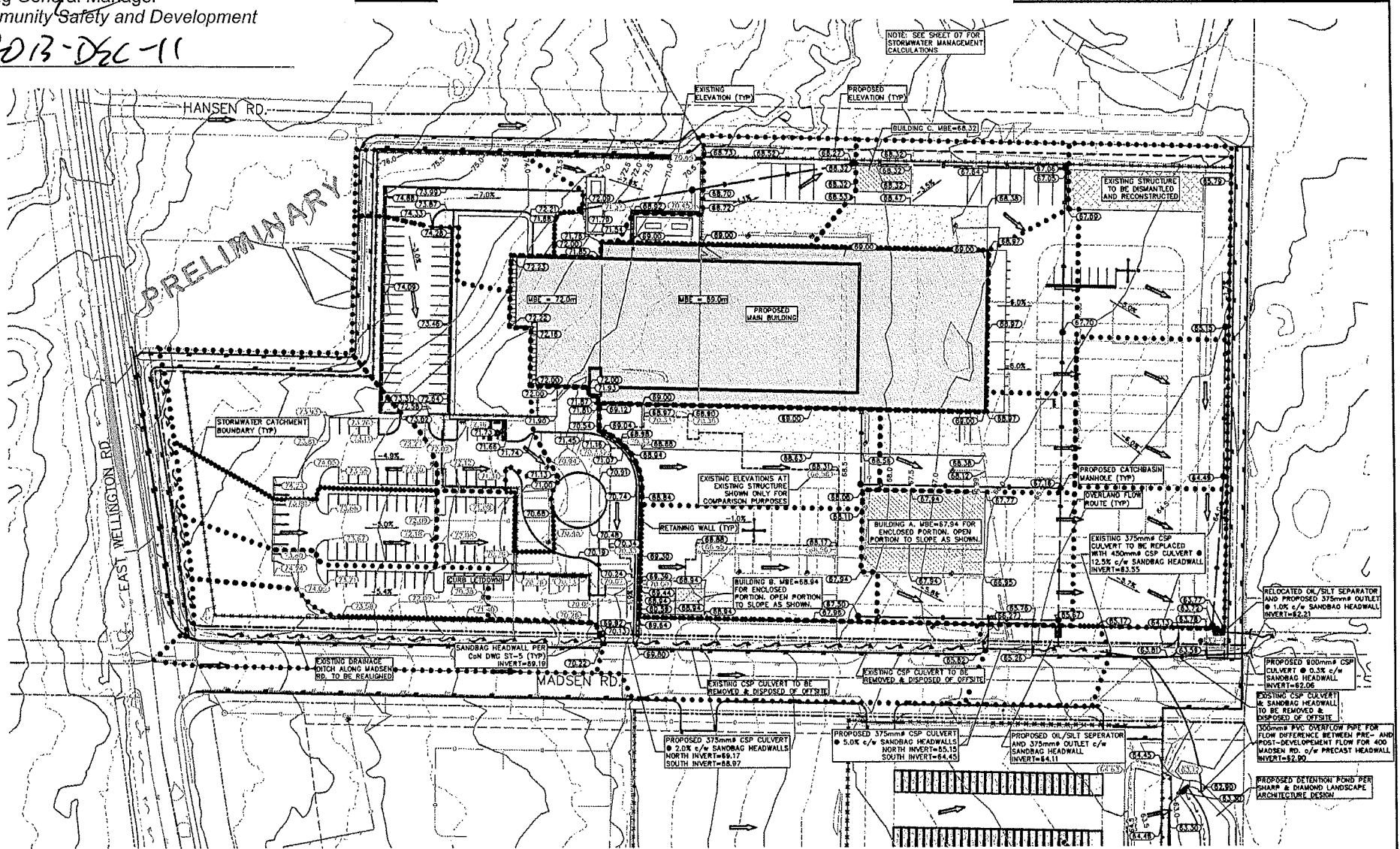
Schedule N

400 MADSEN ROAD  
DRAINAGE MANAGEMENT PLAN

Acting General Manager  
Community Safety and Development

2013-DEC-11

Date



NO.	DATE	BY	REVISED	DESCRIPTION
1	2013/02/12	SMH		ISSUED FOR PRELIMINARY REVIEW
2	2013/04/29	SMH		NEW SITE PLAN SUBMITTED, REQUIRED FOR PRELIMINARY REVIEW
3	2013/04/29	SMH		SITE REVISIONS REQUIRED FOR PRELIMINARY REVIEW
4	2013/05/13	SMH		PRELIMINARY GRADING ADDED, REQUIRED FOR PRELIMINARY REVIEW
5	2013/06/04	SMH		OFFSITE WORKS AND DETENTION POND ADDED, REQUIRED FOR REVIEW
6	2013/06/28	SMH		NEW SITE PLAN SUBMITTED, REQUIRED FOR REVIEW
7	2013/06/28	SMH		REVISION LIST REVISIONS, REQUIRED FOR PRELIMINARY REVIEW
8	2013/06/28	SMH		REVISION LIST REVISIONS, REQUIRED FOR PRELIMINARY REVIEW
9	2013/06/28	SMH		REVISION LIST REVISIONS, REQUIRED FOR PRELIMINARY REVIEW

PROJ. NO.	AVG.	DATE	BY	DESCRIPTION
1300/1300	SMH	2013/02/08	SMH	ISSUED FOR DEVELOPMENT PERMIT APPLICATION



DESIGNER	DATE	BY	DESCRIPTION
OMICRON AEC/BC HYDRO	2013/02/08	SMH	ISSUED FOR DEVELOPMENT PERMIT APPLICATION

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